



CHAUTAUQUA COUNTY
DEPARTMENT OF HEALTH AND HUMAN SERVICES
DIVISION OF PUBLIC HEALTH – ENVIRONMENTAL HEALTH UNIT

GEORGE M. BORRELLO
County Executive

CHRISTINE SCHUYLER
Director of Health & Human Services
(Commissioner of Social Services/Public Health Director)

RE: Water Sewage Survey (WSS) Application

To Whom It May Concern:

Any party selling or offering for sale a residence which is not connected to a municipal water and/or sewer system should be aware of the Chautauqua County Department of Health and Human Services (CCDHHS) requirements for their sewage/wastewater treatment system and water supply. A water sewage survey (WSS) is mandatory effective January 1, 2010 for most property transfers as listed in the Chautauqua County Health District Sanitary Code, Article III. If a property is transferred in Chautauqua County without certification from CCDHHS, such transfer will be a violation of the Sanitary Code by both the seller and the purchaser, for which each party may be brought before the County Board of Health which may subject each party to imposition of a penalty of up to \$2,000. Additionally, all measures or corrections necessary to enable a failed system to pass inspection will be required.

The standard WSS inspection includes examining the water supply system and collecting a water sample for bacteriological analysis and observing the wastewater treatment system area and conducting a dye test. Surveys should be requested before sales contracts or closing dates have been set. To request a WSS, complete the attached application and submit it with the fee payment to the Mayville office. The form **must be** completed and signed by the homeowner or their legal representative (i.e. attorney, executor, or power-of-attorney) before the survey will be scheduled. Applications signed by a realtor **will not** be processed and will be returned for the proper signature before the survey will be scheduled. Inspection fees are as follows:

WATER (2 samples) & SEWAGE / WASTEWATER TREATMENT SYSTEM inspections - \$300
WATER SUPPLY ONLY inspection (2 samples) - \$150
SEWAGE / WASTEWATER TREATMENT SYSTEM ONLY inspection - \$150

Common issues that can delay standard WSS inspections and approval are:

- 1. Occupancy:** Wastewater treatment systems can only be tested when the dwelling has been occupied continuously for at least 30 days prior to, and 7 days following, the date of inspection. If the property is a seasonal use residence, the dwelling must be occupied for at least 6 days within the 60 days prior to the dye test and inspection.
- 2. Weather:** Freezing temperatures and snow cover will delay wastewater treatment system inspections.
- 3. Well / water supply standards:** Wells and water supplies that do not meet the standards described in the attached sheet will not be approved until corrections are made.
- 4. All wastewater drain lines (laundry, utility sinks, etc.) must be connected to the main house sewer and septic tank.** Plumbing changes must be made at least 30 days before inspection.
- 5. Tank pump-outs:** Septic tanks, treatment units, and holding tanks must have been pumped by a NYSDEC-licensed waste hauler within the last 3 years (from date applications are received by CCDHHS) and **at least 30 days prior** to a wastewater treatment system inspection. A copy of the **last pump receipt should be submitted with the WSS application.** If tanks, etc. have **not been pumped recently** the CCDHHS inspection should be scheduled and completed prior to pumping.

Pumping can be scheduled after the inspection is complete. **A copy of the pump receipt must be submitted before CCDHHS will send an approval letter.**

As of 2014 more intense wastewater treatment system inspections are required at properties that have a facility or any component of a wastewater treatment system located **250 FEET or CLOSER to a MAJOR SURFACE WATER BODY** (Bear Lake, Cassadaga Lake, Chautauqua Lake, Lake Erie, Findley Lake) and meets any one of the following criteria:

1. The facility's OWTS is unpermitted or the OWTS is older than 30 years (from date the water-sewage survey application was received by CCDHHS).
2. The OWTS serving the facility is believed to be in significant non-compliance with Appendix 75-A Wastewater Treatment Standard – Individual Household Systems.

The more intense inspection will follow New York Onsite Wastewater Training Network, Inc. (OTN) standards and will require any and all septic tanks, treatment units, holding tanks, pump stations, distribution boxes, and seepage pits be uncovered by the homeowner and observed by a Sanitarian. All septic tanks, treatment units or holding tanks will require pumping in the presence of a Sanitarian so volume and structural integrity may be evaluated. The filtration and/or absorption area must be evaluated by a Sanitarian using visual observation, dye testing, and probing prior to approval of the treatment system. Chautauqua County Health District Sanitary Code requires any wastewater treatment system found in significant non-compliance to be upgraded to meet Appendix 75-A Wastewater Treatment Standards set forth in the New York State Sanitary Code.

Any violations observed in either a standard WSS or a more intense OTN inspection will need to be addressed and corrected before CCDHHS approval will be issued. If inadequately treated sewage / wastewater (laundry, sink, bath, septic tank wastewater, etc.) is discharging to the ground surface or into any body of water (creeks, streams, lakes, etc.) the wastewater treatment system will be considered in violation of the Chautauqua County Health District Sanitary Code. **Sewage / wastewater discharge violations must be corrected whether or not the property transfer takes place.** The need to correct a sewage violation may cause significant delays in approval due to the time necessary to select a reputable contractor, process an OWTS correction application, issue a permit, construct the system, and make a final inspection.

If water samples indicate unsatisfactory bacteriological quality that cannot be remedied by disinfection of the water supply system, a hypo-chlorinator or other acceptable means of disinfection will have to be installed or a new satisfactory source of water must be developed to obtain CCDHHS approval. **Well construction must meet CCDHHS standards as outlined on the attached sheet.** Water is tested for bacteria only, and not for other parameters, which may be considered detrimental to water quality such as iron, salt, or sulfur.

The two most common items that sellers / buyers are slow to address and frequently delay final approval by CCDHHS are:

1. Failing to replace old well caps with the required sanitary seal well caps.
2. Failing to have septic tanks, pump tanks, and holding tanks pumped in accordance with the three (3) year requirement or failing to supply CCDHHS with a copy of the pump receipt.

Water sewage survey results are typically honored by CCDHHS for a period of six (6) months provided certain conditions are satisfied. The results of the survey are not to be construed as a guarantee or an approval of the physical facilities inasmuch as all OWTS components are not uncovered for inspection. Should you have any questions regarding this survey, contact the office at (716)753-4798. For additional information, please visit our website at <http://www.co.chautauqua.ny.us/557/Water-and-Sewage>.

| | |
|------------|------------------|
| OFFICE USE | WSS# _____ |
| | Date Rec'd _____ |
| | Fee Rec'd _____ |
| | Receipt # _____ |

WATER SEWAGE SURVEY APPLICATION

PROPERTY INFORMATION

Town/Village: _____ Section: _____ Block: _____ Lot: _____

Street Address: _____

Facility Use: Seasonally or Year around

SELLER INFORMATION

Owner: _____ Mailing Address: _____

Owner's Email: _____ Ph#: _____

Owner's Attorney: _____ Ph#: _____ Fax #: _____

Attorney's Email: _____

Who is current occupant? _____

Dwelling occupied continuously for the past 30 days? _____

Seasonal dwelling occupied within the last 60 days? _____

Who should be contacted for appointment? _____ Ph#: _____

BUYER INFORMATION *(parties indicated below are authorized to receive a copy of the survey results):*

Buyer: _____ Ph#: _____

Buyer's Attorney: _____ Ph#: _____ Fax #: _____

Attorney's Email: _____

Other parties to receive a copy of survey results: _____

Any other pertinent information: _____

The CCDHHS Environmental Health Unit is hereby authorized to enter named premises to inspect and evaluate the water supply and wastewater treatment systems and to map the location of the well, spring, or intake. I understand that the water is tested for bacteria only and not for other parameters which may be considered detrimental to water quality or health such as iron, sulfur, salt, lead or nitrates. I have not had the septic tank(s) pumped for 30 days prior to this application or altered the wastewater system in any way. I understand that if the wastewater system is in violation, correction must be made even if the property is not transferred. I understand that a CCDHHS permit is required for any construction, corrections, or alterations to a wastewater system. I authorize the information gathered from this survey to be released to any parties indicated above. I understand that CCDHHS makes no guarantees with respect to the water supply or wastewater systems and that no special relationship is created by the County's performance of these tests. The information provided is truthful and accurate to the best of my knowledge.

AUTHORIZING SIGNATURE

(must be OWNER, OWNER'S ATTORNEY, or EXECUTOR OF ESTATE)

Water sewage survey status letters will be faxed to listed attorneys.

The seller requests letters also be Emailed Mailed Neither requested

RETURN COMPLETED FORM to the Mayville Office via mail or fax. Application fee must be received before appointments will be scheduled. Checks made payable to Chautauqua County Director of Finance.

Chautauqua County Department of Health & Human Services
Environmental Health Services
7 North Erie St.
Mayville, NY 14757

Phone: (716)753-4798
Fax: (716)753-4344
E-mail: cchealth@co.chautauqua.ny.us

COMPLETE THE ENTIRE FORM - *Incomplete applications will be returned and scheduling will take longer.* Forms should be completed by sellers or in discussion with sellers, so the most complete and accurate information is included.

DWELLING INFORMATION: # of Bedrooms _____

Is there... Washing machine hook-up Garbage disposal Dishwasher Hot tub /Spa
 Basement Crawlspace No access under dwelling/facility to check plumbing connections

SEWAGE / WASTEWATER TREATMENT SYSTEM INFORMATION

Is there a permitted wastewater treatment system (Permit # if known)? _____

SYSTEM TYPE: Leach Lines Seepage Pit Sand Filter Tile in Fill Aeration/ETU

Number / Size of septic tanks _____ Is there a gravel box? _____

Are sump pumps, foundation drains, and water softener backwash excluded from the system? (If not, explain) _____

ALL WASTE LINES must be connected to the main sewer and septic tank. ANY PLUMBING CHANGES must be completed THIRTY (30) DAYS PRIOR TO THE INSPECTION.

SEPTIC TANK PUMPING: Proof of tank pumping within the last 3 years **must be submitted** before CCDHHS will issue a final approval letter. Receipts from pumpers are sufficient.

Was a pump receipt included with this application? YES NO (If not answer the following)

Date tanks were last pumped _____ **Who pumped tanks?** _____

AERATION UNITS / ENHANCED TREATMENT UNITS must have a current service contract. If there is not a current contract, one must be obtained before an approval letter will be issued.

Last Aeration Unit / ETU service date? _____ Serviced by? _____

Current Aeration Unit / ETU service contract with (company name): _____

WATER SUPPLY INFORMATION: Public / Municipal Source *or* Private Source

WELL TYPE: Drilled Driven Dug Buried Other Source (spring, pond, lake)

Is the well located on the parcel being sold? YES NO

Does the well serve more than one (1) dwelling / facility? YES NO

Does the well have a sanitary seal (described in the information sheet)? YES NO

TREATMENT: None Chlorinator Ultraviolet Light Softener Other _____

Is there a filter? Sediment Filter Activated Carbon Filter Filter Size? _____

Date the well was last disinfected _____ Has well ever been tested? _____

CCDHHS Drinking Water Well Construction Standards for Property Transfers

In order to be approved during a property transfer in which a water-sewage survey is required, all drinking water wells must be constructed to meet the following CCDHHS standards. CCDHHS Environmental Health staff will NOT collect a water sample if the well does not meet these standards.

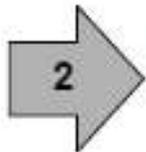
- 1) Casing for existing drilled wells must extend above ground far enough to protect the well from runoff contamination (minimum 6" for wells with good drainage around them) and it must be fitted with an approved watertight well cap (refer to #6). Well extensions must be made using the same material as the original casing. Steel well casing must be welded together, Fernco couplers are not allowed.
- 2) All wells that are in pits must be extended above ground 18".
 - a. The floor and/or walls of pits must allow water to drain before they are backfilled. Pit walls should be eliminated if at all possible.
 - b. Material used to backfill depressions and pits must consist of low permeability soil such as grey or brown silt/clay. Topsoil or washed stone must not be used (topsoil can be used to cap the top 2-4" only to grow grass). Sand and gravel can only be used if it is mixed with silt/clay to reduce its permeability.
 - c. Electric wires must enter the well through conduit that is threaded into the well cap, not through the side of the well casing.
 - d. **The well must be disinfected twice over a two week period** following the improvements before a sample can be collected.
- 3) Buried Wellheads - An initial water sample will be collected to assess water quality. Depending on individual circumstances, the well may be approved if the sample passes. If the sample fails then the well must be located, uncovered and the casing extended above ground 18".
- 4) The ground surface around well heads must be mounded and sloped away from the well. There can be no standing water or depressions around a well head.
- 5) Shrubs, bushes, gardens and trees should not be planted around well heads.
- 6) All wells must have an approved watertight well cap; these "sanitary seal" well caps can be purchased locally from IRR Supply in Jamestown and Fredonia or from local drillers. See the attached description page for an explanation of the different types of well caps. Split type caps are allowed in limited situations (e.g. wells in basements).
- 7) Electric wires that lead to a submersible pump must be enclosed in conduit that is threaded into the well cap having a watertight connection. If electric wires enter through a hole in the side of the casing, it must be enclosed in conduit having a watertight seal where it enters the casing.
- 8) Small Diameter (1½ to 2 inch) driven wells pose unique circumstances and will be evaluated on a case by case basis.
- 9) Shallow Dug Wells do not meet Health District standards unless they have appropriate treatment. At a minimum they require disinfection and may also require particle filtration. These will be evaluated on a case-by-case basis.

Contact CCDHHS Water Staff at 753-4481 if you have any questions.

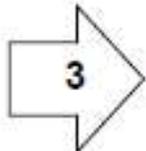
Typical examples of small diameter Well Caps observed in field situations



Proper cap – This cap is provided with the required sanitary seal (see rubber gasket noted by small white outlined arrow) and down-facing, screened well vent(s) (noted above by small black outlined arrows). The screen should be 24-mesh, structurally sound, corrosion-resistant and hydraulically efficient. This cap or similar is required for all new wells and as a replacement cap. All attachments (e.g. conduit) must be sealed and in good condition to prevent insect or other intrusion.



Split cap (no new construction) – Formerly used indoors or in other special situations with additional provisions. Must have additional cover (additional cap or within enclosure – protected from elements) – and down facing well vent with screen. These caps are subject to additional problems and should be replaced with newer models indicated above. These will not be allowed in new construction according to Appendix 5-B standards.



Improper cap – Very common and least expensive – not allowed in regulated systems. These should be replaced even if no observed problems are noted.

NYSDOH standards may prevent use of certain caps in new and/or existing situations. Check with Health Department for acceptable caps before installation or replacement.